

THE HUNT CLUB

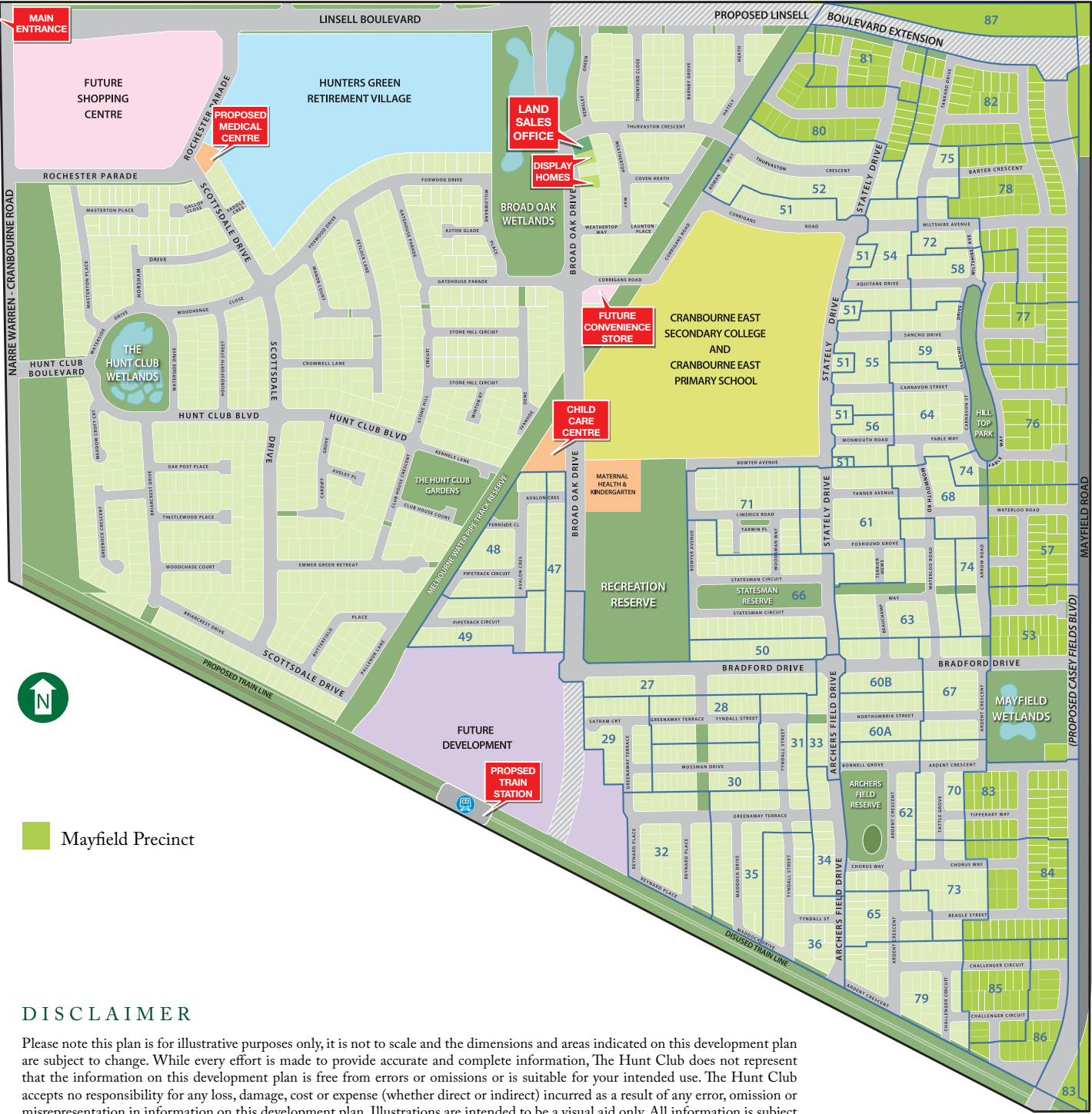
DESIGN GUIDELINES FOR THE MAYFIELD PRECINCT



The Hunt Club Siting and Design Controls. Version No. 4 July 2012



MASTERPLAN



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1. INTRODUCTION

These guidelines establish design criteria and building envelopes to address issues which are specific to allotments within The Hunt Club Mayfield Precinct. The guidelines seek to shape a distinctive character within the precinct and maintain the level of quality that befits the estate. It is intended that the guidelines will compliment the City of Casey's Planning Scheme and are not a substitute for its provisions of dealing with residential development (Clause 54) and medium density development (Clause 55). Only house designs that satisfy these requirements will be permitted to be constructed.

2. PURPOSE OF DESIGN GUIDELINES

These guidelines set out the design objectives to assist in achieving the optimal outcomes for housing.

The challenge is to ensure that the quality of the street front and design quality of the dwellings are equal to the landscape standards of the open space network.

3. OBJECTIVES

- A To ensure that houses adequately address both open space and street frontages.
- B To assist in achieving the optimal fit of housing product.
- C To protect the amenity of all residents.

4. APPROVAL PROCEDURE

The design panel at The Hunt Club will provide information and advice to purchasers and landowners in The Hunt Club Mayfield Precinct regarding the guidelines. Early contact with the design panel is recommended and will avoid unnecessary delay caused by non-compliance or an unacceptable variation. In particular, advice can be provided at the initial concept plan stage, and at the preliminary selection of materials, colours and finishes stage.

All development at The Mayfield Precinct must comply with the guidelines to the satisfaction of the design panel. All purchasers and owners of lots must have their plans approved by the design panel whose approval may be withheld in its absolute discretion notwithstanding compliance with the guidelines.

In the first instance plans should be sent to:

The Hunt Club – Design Panel

14 Broad Oak Drive,
Cranbourne East VIC 3977

The plans will be forwarded promptly with comments to the design panel for the approval of plans. Landowners and purchasers contemplating any variation to the guidelines are encouraged to discuss their plans prior to lodging them for consideration. It should be noted that the guidelines are mandatory, in accordance with Council's planning scheme and requirements.

Variations can only be considered if they:

- Are minor in nature
- Do not conflict with Council and ResCode requirements
- Cause no detriment to the streetscape
- Do not adversely affect neighbours amenity and
- Do not establish an undesirable precedent

Any proposed variation to the guidelines must be clearly shown on the plans submitted for approval.

Only a Registered Building Surveyor can issue a building approval, after plans have been approved by the design panel. It is possible to directly and concurrently lodge plans with the Building Surveyor and the design panel. However, building approval cannot be granted until the design panel has approved the plans.

Construction of houses, fences and garages on any lot at The Hunt Club's Mayfield Precinct cannot commence until the design panel has approved plans and building approval has been granted. Only those plans and variations approved to the satisfaction of the design panel will be able to be considered and determined by the Building Surveyor.

The design panel have agreed to use their best endeavours to assess the plans in the shortest possible time. Feedback on the application will be received within 10 working days.

5. DURATION OF DESIGN GUIDELINES

These Design Guidelines are applicable for your block of land for 10 years from date of registration of title.



6. CHARACTER STATEMENT

Housing will generally be detached, with one house per lot. Appropriate provision for medium density/party wall dwellings will be limited to areas nominated within individual stage releases.

Landscaping is an integral part of The Hunt Club, creating a strong “garden suburb” image. Front courts/yards shall be open and visible to the street.

Streetscape outcomes are to be cohesive but varied in the form, elevational composition and height (single and double storey) of dwellings. The relationship between houses must be considered. Each house must be appreciably different to its immediate neighbour.

Houses are to be designed to address their primary street frontage. Corner lots should address both frontages.

An articulated and varied elevation is to present to the street front and/or the park front. There are to be no flat facades.

Car accommodation has a major impact upon the street elevation and must be integrated with the architectural design.

Main habitable rooms should be oriented to avoid privacy conflicts with neighbours.

Services, storage sheds, drying/work courts etc are to be of least impact upon public view.



7. BUILDING MATERIALS

Materials and colour selection are to be included as part of the application. Domestic materials such as brick veneer, lightweight cladding (to upper floor level) and tile or sheet metal roofing will predominate. However, the innovative use of materials is encouraged, where this is a part of a coherent architectural design.

Special emphasis, for example feature panels, rendered finishes etc, will be placed on the elevations that address streets and public spaces.

As a minimum, feature or render elements must be incorporated into the front entry/portico.

Shiny or reflective roofing materials e.g. zincalume are not permitted.

8. ENERGY, TELECOMMUNICATIONS AND WATER EFFICIENCY

All dwellings must be constructed to achieve energy efficiency requirements of the Building Commission Victoria (www.makeyourhomegreen.vic.gov.au). This should be achieved through design consideration of house orientation/layout, solar access, cross ventilation, provision of thermal mass and roof insulation.

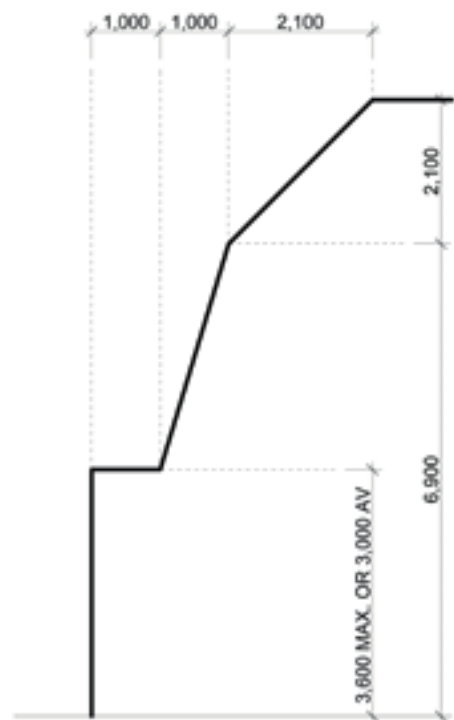
The Hunt Club is provided with Broadband “Fibre to the home”. Connection to a copper wire network is not available. For wiring requirements, refer to the appropriate home wiring guide.

Recycled water is supplied for all stages of the Mayfield Precinct and must be incorporated into the house design.

Note: Recycled water is high quality (Class A) water that is intended for use in toilets, gardens, car washing and similar applications. The Class A recycled water is sourced from a new, state-of-the-art treatment facility at Melbourne Water’s South East Treatment Plant. It is piped to The Hunt Club and into homes through a dedicated lilac coloured pipe. The Hunt Club community will save the equivalent of 100 Olympic swimming pools of drinking water every year.



9. SETBACKS



Minimum side setbacks relative to wall height



Building setbacks – ground level

Building Envelopes

All lots have been provided with a building envelope as indicated on the Plan of Subdivision. The setback guidelines indicated below are to be read in conjunction with any requirements of the Plan of Subdivision.

A Street front

For lots with only one street frontage, the primary street frontage shall be that frontage. For lots with two street frontages, the shorter street frontage shall be the primary street frontage and the other street frontage the secondary street frontage.

If the two street frontages are of equal length then the purchaser should contact the design panel at The Hunt Club to determine which street frontage will be designated the primary street frontage for the purposes of these guidelines.

The minimum setback from the primary street frontage to the principle building line is 4.5m. Roofed verandah/portico elements and eaves may encroach not more than 1.0m into these setbacks, at ground level only.

B Corner Lots

The minimum setback to the secondary street frontage is 2 metres.

C Side

Walls are to be setback in accordance with Council's Planning Scheme (refer diagram opposite) – i.e. walls, which are not within 0.15m of a boundary, are to be set back 1.0m plus 0.3m for every metre of height over 3.6m up to 6.9m, plus 1.0m for every metre of height above 6.9m. (*Note – a two storey height limit is applicable*).

Eave overhangs and services may encroach not more than 0.5m into this setback.

A minimum setback of 1 metre is required for one side wall on all properties.

Zero lot line walls have a setback of nil to 0.15m, an average height of up to 3.0m and a maximum height of 3.6m. Zero lot line walls are not to exceed 15m total length (including garage/carport walls). The rear 10m and front 5.0m of the allotment are not to be affected by zero lot line walls. Zero lot line is encouraged for garages and carports, in order to maximise the garden area of the street front. However, two garages on an adjoining boundary may not both be constructed as zero lot line unless approved by the design panel.

D Rear

Rear setback shall be a minimum of 3.0m or as shown on the building envelope plan. Increased setbacks are encouraged in order to provide the largest possible rear yard space and tree court area.

***Note:** Above dimensions exclude eaves. Increased setbacks are preferred where possible on northern aspects to maximise solar access.*

10. PRIVACY AND PASSIVE SURVEILLANCE

House design should avoid privacy conflicts between neighbours, by orienting principal habitable rooms toward the street or rear, rather than sideways toward neighbours.

House designs shall meet the relevant RESCODE requirements for overlooking.

Where houses have a front or side address to public spaces, overlooking is encouraged in order to increase passive surveillance. This could take the form of windows, Juliette balconies or terraces.



11. HOUSE DESIGN, SIZE, HEIGHT AND SITE COVER

Houses of similar or comparable street elevations will not be permitted within any 3 contiguous lots. Housing diversity is strongly encouraged. The design Panel will insist on modifications to ensure compliance, so it is recommended that consultation take place prior to finalising the choice of house design.

Building height may not exceed two storeys.

In order to establish external living and landscaped spaces, the maximum site cover is 60%. Lesser site cover is preferred. This includes roofed areas except for eave overhangs.

12. DRIVEWAYS AND CROSSOVERS

Individual driveway cross-overs are provided by the developer at one side boundary of each property. Only one driveway cross-over is permitted for each lot. Provision shall be made for one vehicle to stand in the driveway in front of the garage.

Driveway materials and colour should complement the house. Grey concrete will not be accepted.

Driveway must be complete within 6 months of issue of the Certificate of Occupancy.

13. CAR ACCOMMODATION

Accommodation shall be provided for two cars on each lot, with at least one space being covered in a garage. The standing space in the driveway can be counted as the second space.

Any commercial vehicles, including caravans, utility trucks, four wheel drives and vans are to be included within the allotment and are not to be visible from the street.

Car spaces shall be directly accessed from the street.

A Garage openings

Garage openings are to occupy no more than 40% of the width of the lot frontage.

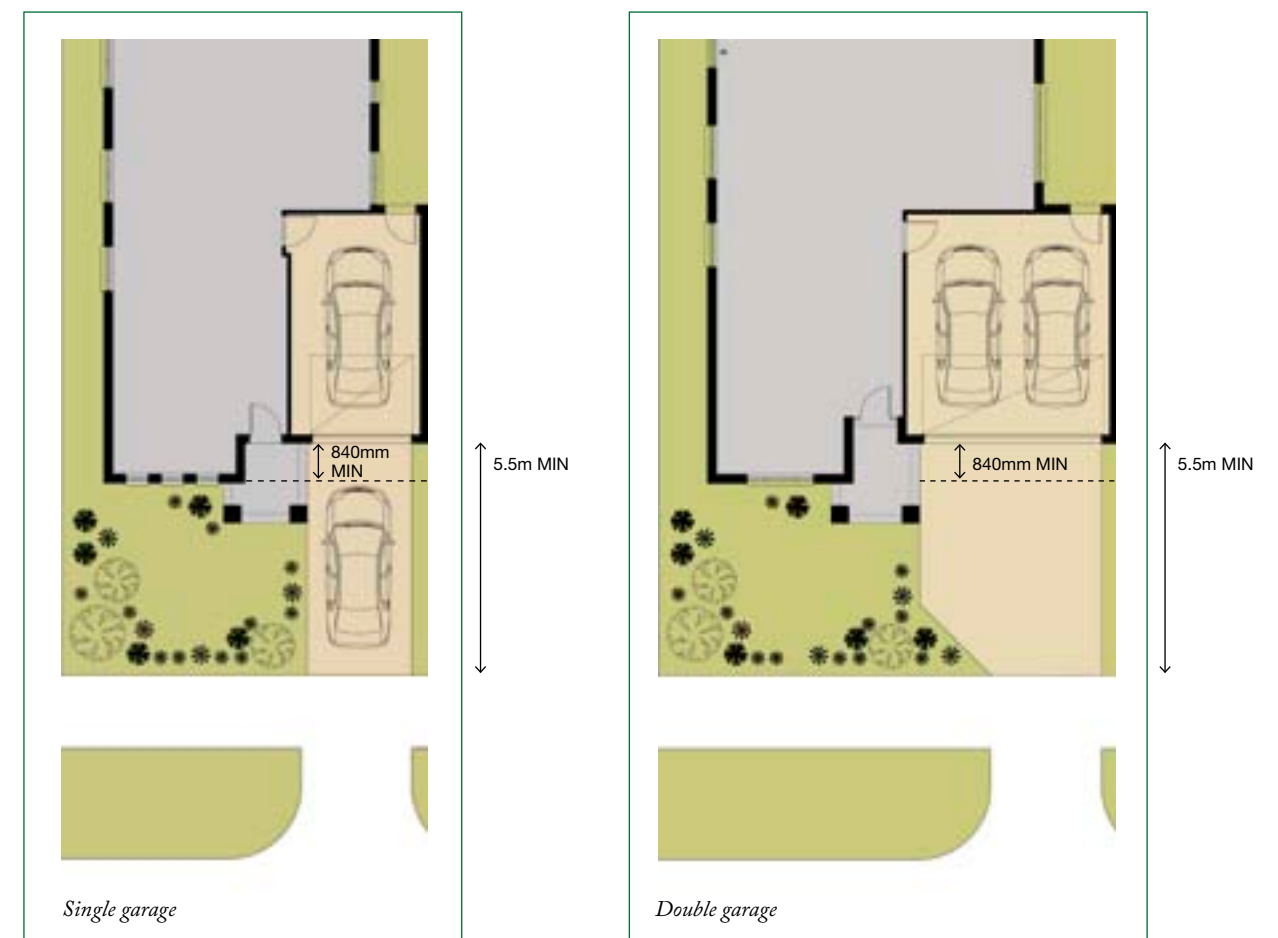
B Setbacks

Garages / carports are to be setback a minimum of 0.84m behind the front wall of the dwelling and a minimum of 5.5m from the front property line.

Car accommodation shall be of least visual impact upon the street front.

Options include:

- A Single garages (minimum 6.0m long x 3.5m wide x 2.1 high).
- B Tandem garages (minimum 10.5m long x 3.5m wide x 2.1 high).
- C Double garages (minimum 6.0m long x 5.5m wide x 2.1m high) can only be provided on lots with at least a 12m width, where visible from the street. The garage door should be carefully integrated – structurally and visually.



14. ROOF

A pitched roof form should be a strong part of the architectural character of the house.

Flat/low pitch roof elements are encouraged where these form part of the architectural composition and do not detract from the predominance of the pitched roof.

15. LANDSCAPING AND TREE PLANTING

Indoor spaces, private landscaped spaces and the adjacent public spaces should be integrated through design.

The house plan/site layout shall establish the following landscape spaces:



Integration of house and landscape design

A Street front space

This should be a minimum of 4.5m deep and comprise an area of approximately 30sqm, or more, inclusive of pedestrian access/path, porch/verandah/awning but exclusive of the paved driveway area.

Landscaping of the street front garden, including the planting of lawn, trees, shrubs and the formation of garden areas must be complete within 6 months of the issuing of the Certificate of Occupancy.

B Rear yard space

The rear yard space shall be maximised in area and form a contiguous space. It may incorporate decks, verandahs and outdoor living areas to connect to the main living space of the house. Soft/planted garden area shall predominate.

At least 60% of the area of landscape spaces shall be soft planted and permeable, rather than hard-paved.

Space must be provided for the planting of 2 x small to medium sized trees in either the front or rear spaces, in addition to the adjacent street-tree planting. Trees shall not prevent winter morning solar access to the living spaces. Deciduous trees may be considered.

16. FENCES

Fence detail is important in establishing the relationship with adjacent properties and public spaces.

Street front fences are not to be installed. For corner lots, this requirement applies to both the primary street frontages and at least the front 10m of the secondary street or open space frontage.

Side fences are only to be installed behind the street front building line.

Side and rear fences are not to exceed 1.8m in height and shall be constructed of colorbond sheet metal, colour "Teatree" and be of a profile consistent with that of the surrounding area. Details of the proposed profile are to be shown on the plans submitted to the design panel for approval.

Fencing must be the same for the whole length of a boundary, even when that boundary may form the boundary of two or more adjacent lots ("Multi Lot Boundary"). An example is where the long boundary of one lot is the rear boundary of two adjacent lots. The type of fencing along the length of a Multi Lot Boundary shall be determined by the type of fencing that complies with the guidelines and is erected by the first party to erect fencing on the Multi Lot Boundary.

Where lots side onto a park or reserve, the fencing shall be constructed by the developer with 50% of the cost to be paid by the property owner.

Fencing to street boundaries is to be constructed and paid for wholly by the property owner.

All fencing is to be completed within 3 months of occupancy.

The cost of fencing between residential lots is to be shared equally between neighbouring property owners.

17. ADVERTISING SIGNS

The promotion of houses for sale and the advertising of builders during the construction of a house will be limited to one sign for each property unless prior approval is granted by the design panel.

There are to be no other advertising signs on either vacant land or occupied allotments except where approved by the design panel.

18. SERVICES AND STORAGE

Sheds, bin stores, clothes lines and service areas shall be located or screened so that they are not visible from public spaces.

Solar hot water systems may be located in the best functional position. Where there is a choice of locations, the position with least impact upon public view shall be selected.

External hot water units and ducted heating systems shall not be visible from public spaces.

Air-conditioners shall be located below the eaves line, screened/located away from public view and baffled to minimise noise. Evaporative cooling units are to be located below the ridge line, at the rear of the dwelling and be coloured to blend into the roof colour.

Satellite dishes are not to be visible from the street.

Television antennas should be located within the roof space wherever possible, or be located to be of least visual impact on public spaces.

Letterboxes are to be located in a pillar or other approved type at the front of the dwelling and shall be designed to complement the dwelling. Street numbers should be clearly displayed.

The location of the above items should be clearly shown on the site plan as part of the application.

19. ACKNOWLEDGEMENT

The Purchasers acknowledge that they have received a copy and read the Design Guidelines for the Mayfield Precinct and agree to comply with all the terms and conditions of the same.

20. PENALTY FOR NON-COMPLIANCE WITH DESIGN GUIDELINES

Upon the receipt of a letter from the Developer of The Hunt Club Estate advising a breach of the Design Guidelines for the Mayfield Precinct, the Purchasers shall forthwith rectify the breach.

If the breach is not rectified within one month or a second letter is received from the Developer of The Hunt Club in regards to the same breach, then the Purchasers shall pay a fine of \$500.00 per week to The Community Fund until the breach is rectified.

If after the expiration of a further month the breach has not been rectified, the Developer of The Hunt Club Estate may at its discretion issue Court Proceedings to enforce compliance with the Mayfield Precinct Design Guidelines.

.....

Purchaser's name

.....

Purchaser's signature

Date:

Dennis Family Corporation Pty Ltd ABN 15 089 081 667 is project manager for The Hunt Club Pty Ltd ABN 78 114 247 791



5996 7088 | huntclub.com.au

Land Sales & Information Centre: Open daily 10am – 5pm,
14 Broad Oak Drive (off Linsell Blvd), Cranbourne East, Melway 134 D3



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